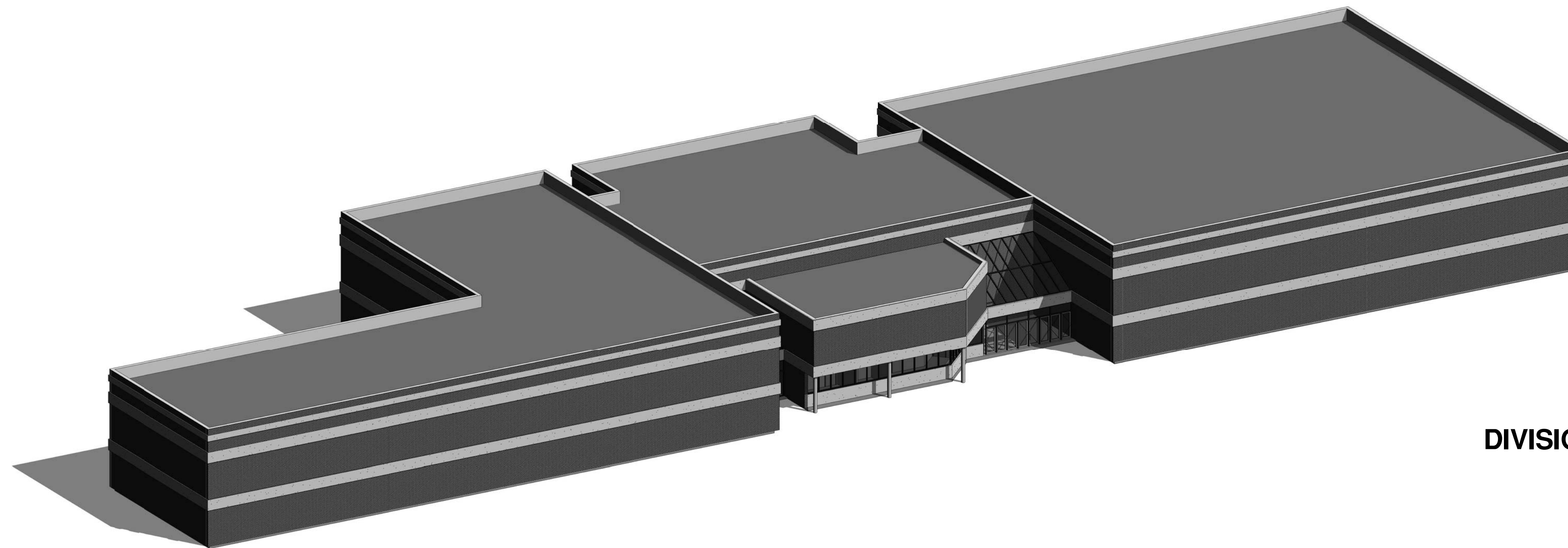


# COLLEGE OF EASTERN UTAH BUNNEL-DMITRICH ATHLETIC CENTER REROOF

451 EAST 400 NORTH PRICE, UTAH 84501

JULY 12, 2006  
CONSTRUCTION DOCUMENTS



STATE OF UTAH  
DEPARTMENT OF ADMINISTRATIVE SERVICES  
DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT

4110 STATE OFFICE BUILDING / SALT LAKE CITY, UTAH 84114 /  
801.538.3018 / [www.dfcm.state.ut.us](http://www.dfcm.state.ut.us)

DFCM PROJECT NO. 06016610



SCOTT P. EVANS - ARCHITECT  
& ASSOCIATES P.C.

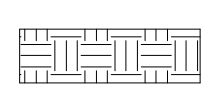
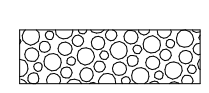

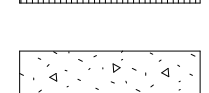




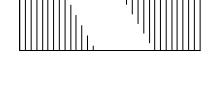
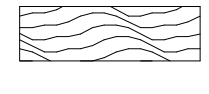
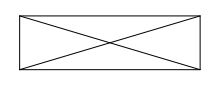
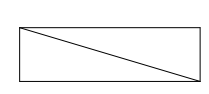
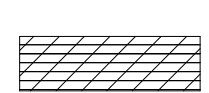

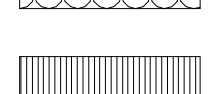



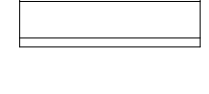
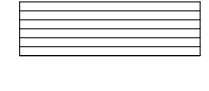
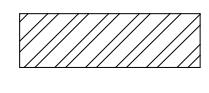
108 WEST CENTER STREET / BOUNTIFUL, UTAH 84010 /  
801.298.1368 / [www.spe-architect.com](http://www.spe-architect.com)

COLLEGE OF  
**Eastern Utah**

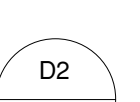
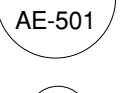
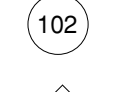








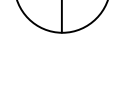

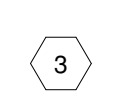


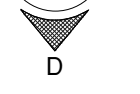
ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
ALT.	ALTERNATE
AL.	ALUMINUM
ACI	AMERICAN CONCRETE INSTITUTE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASTM	AMERICAN SOCIETY OF TESTING & MATERIALS
AWS	AMERICAN WELDING SOCIETY
A.B.	ANCHOR BOLT
&	AND
L	ANGLE
APPD.	APPROVED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT OR ARCHITECTURAL
AC	ARCHITECTURAL CONCRETE
AVG.	AVERAGE
@	AT
BM	BEAM
BLKG.	BLOCKING
BOT.	BOTTOM
BRKT.	BRACKET
BLDG.	BUILDING
CSMU	CALCIUM SILICATE MASONRY UNIT
C.B.	CATCH BASIN
CTR.	CENTER
CL	CENTERLINE
C TO C	CENTER TO CENTER
	CHANNEL
C.O.	CLEANOUT
COL	COLUMN
COMP.	COMPOSITION
C.M.U.	CONCRETE MASONRY UNIT
CRSI	CONCRETE REINFORCING STEEL INSTITUTE
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CSK	COUNTERSINK
CU	CUBIC
CU. FT.	CUBIC FOOT
CFM	CUBIC FEET PER MINUTE
CU. IN.	CUBIC INCH
CU. YD.	CUBIC YARD
DEPT.	DEPARTMENT
DIAG.	DIAGONAL
Ø	DIAMETER
DIM.	DIMENSION
DR	DOOR
DBL.	DOUBLE
DWG.	DRAWING
ELEC.	ELECTRICAL
EWV	ELECTRIC WATER COOLER
EL	ELEVATION
EQUIP.	EQUIPMENT
EJ / EXP. JT.	EXPANSION JOINT
EIFS	EXTERIOR INSULATION FINISH SYSTEM
F.S.	FAR SIDE
FT. or '	FEET OR FOOT
F.V.	FIELD VERIFY
F.F.	FINISH FLOOR
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
F.H.	FIRE HYDRANT
FRT	FIRE RETARDANT TREATED
FD	FLOOR DRAIN
FLUOR.	FLUORESCENT
FTG.	FOOTING
FND.	FOUNDATION
GALV.	GALVANIZED
GA.	GAGE OR GAUGE
GSU	GLAZED STRUCTURAL UNIT
GYP. BD.	GYPSON BOARD
HDW.	HARDWARE
HGT.	HEIGHT
HSB	HIGH STRENGTH BOLT
HORIZ.	HORIZONTAL
"	INCH
INFO.	INFORMATION
I.D.	INSIDE DIAMETER
INTER.	INTERMEDIATE
K	KIP (1,000 LB.)
LAB.	LABORATORY
MFG.	MANUFACTURER
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
NBFU	NATIONAL BOARD OF FIRE UNDERWRITERS
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
N.S.	NEAR SIDE
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
NO. or #	NUMBER
O.C.	ON CENTER
OPNG.	OPENING
OPP.	OPPOSITE
O.D.	OUTSIDE DIAMETER
d	PENNY
/	PER
PERP.	PERPENDICULAR
Ø	PIECE
LB. or #	POUND
PREFAB.	PREFABRICATED
P/L	PROPERTY LINE
R	RADIUS
REINF.	REINFORCING
REQ'D.	REQUIRED
REV.	REVISION
R/S	ROD & SHELF
RD	ROOF DRAIN
RM	ROOM
RD. or Ø	ROUND
SHT.	SHEET
SIM.	SIMILAR
SAB	SOUND ATTENUATION BLANKET
SPEC.	SPECIFICATION
SQ. or	SQUARE
SYM.	SYMMETRICAL
SSEIS	SYNTHETIC STUCCO EXTERIOR INSULATION SYSTEM
T.O.M.	TOP OF MASONRY
T.B.C.	TOP BACK OF CURB
T.L.	TOP OF LANDSCAPING
T.W.	TOP OF WALK
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
VWC.	VINYL WALL COVERING
WWF	WELDED WIRE FABRIC
W/	WITH
W/O	WITHOUT

MATERIAL DESIGNATIONS

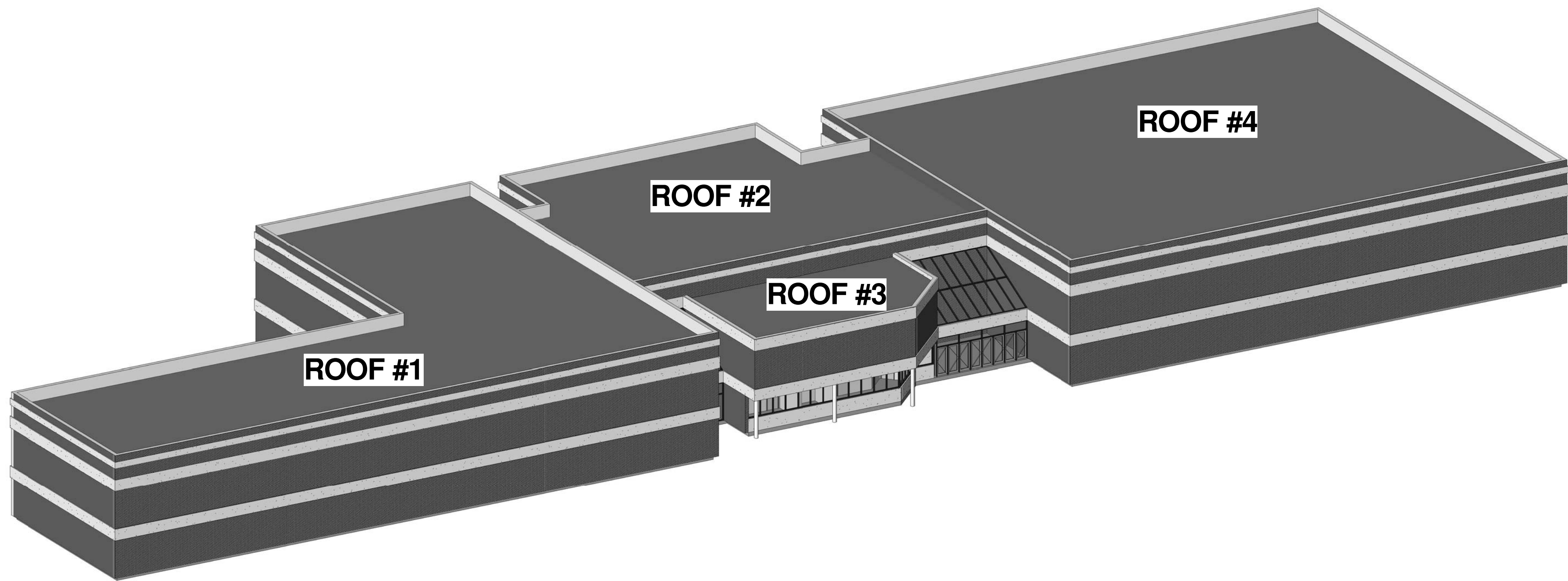
	EARTH
	POROUS FILL
	ASPHALT
	CONCRETE
	CONCRETE MASONRY UNITS
	BRICK
	CAST STONE
	CERAMIC TILE
	WOOD (FINISH)
	WOOD (STUDS, NAILERS)
	WOOD (BLOCKING)
	PLYWOOD
	BATT INSULATION
	RIGID INSULATION
	PLASTER
	ACOUSTIC TILE
	GYPSON BOARD
	GLASS
	STEEL
	PARTICLE BOARD
	RIGID INSULATION

GRAPHIC SYMBOLS

	DETAIL/WALL or SECTION NUMBER
	SHEET NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	ROOM NAME
	ROOM NUMBER
	REVISION NUMBER
	DETAIL, WALL or SECTION NUMBER
	SHEET NUMBER
	GRID REFERENCE
	REFERENCE NORTH (PLANS)
	ELEVATION REFERENCE
	KEYED NOTE NUMBER
	INTERIOR ELEVATION MARKER
	WALL TYPES
	DRAWINGS REVISION
	REVISION NUMBER

DRAWING INDEX

SHT. #	DRAWING TITLE
GI-001	TITLE SHEET
GI-002	GENERAL INFORMATION
AE-101	ROOF PLAN
AE-103	ROOF PLAN
AE-104	ROOF PLAN
AE-501	DETAILS
AE-502	DETAILS



A2 KEYPLAN



SCOTT P. EVANS  
ARCHITECT &  
ASSOCIATES P.C.  
108 West Center Street  
Bountiful, Utah 84010  
Telephone - 801.298.1368  
Telefax - 801.298.2192  
info@spe-architect.com  
www.spe-architect.com

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PRICE, UTAH 84501

REVISIONS: 2

NO. DATE DESCRIPTION

ISSUED:

NO. DATE DESCRIPTION

01 7/12/06 CONSTRUCTION DOCUMENTS

DFCM PROJECT #: 06016610

SPE PROJECT #: 06-12

DRAWN BY: JBE

CHECKED BY: RPL

DESIGNED BY: RPL

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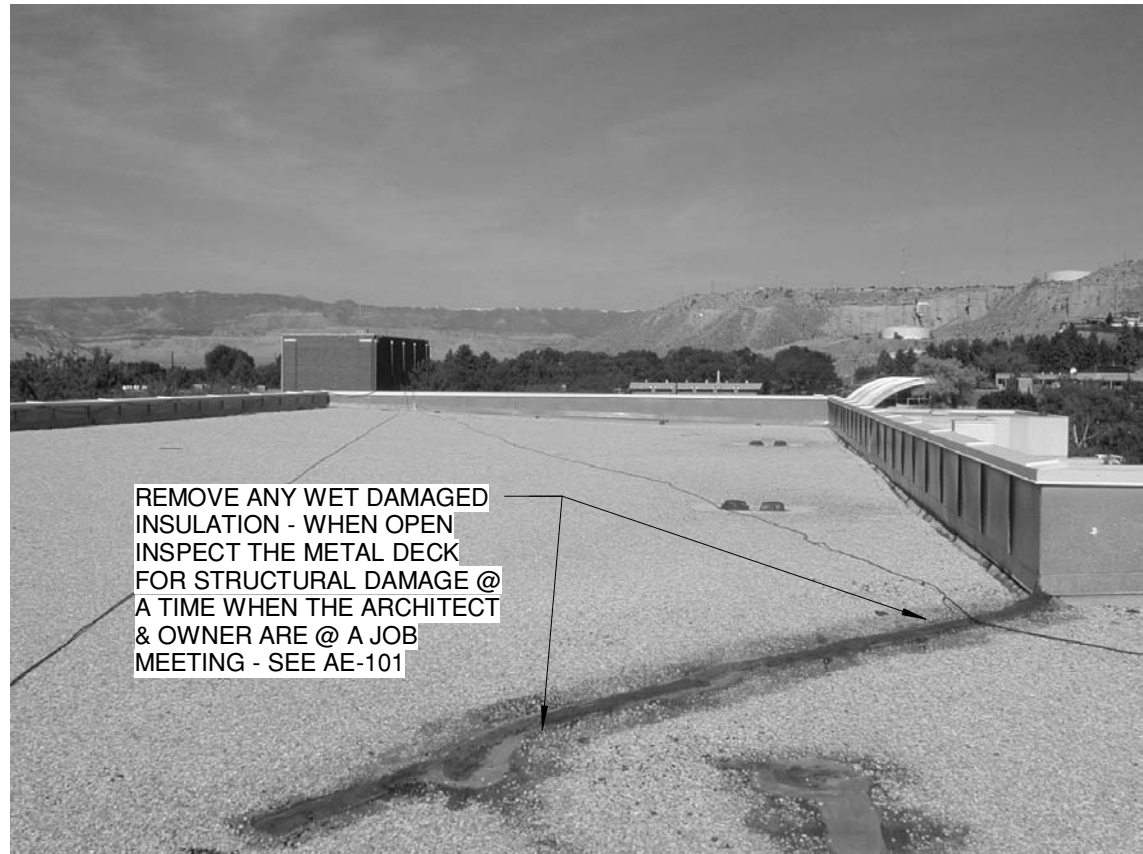
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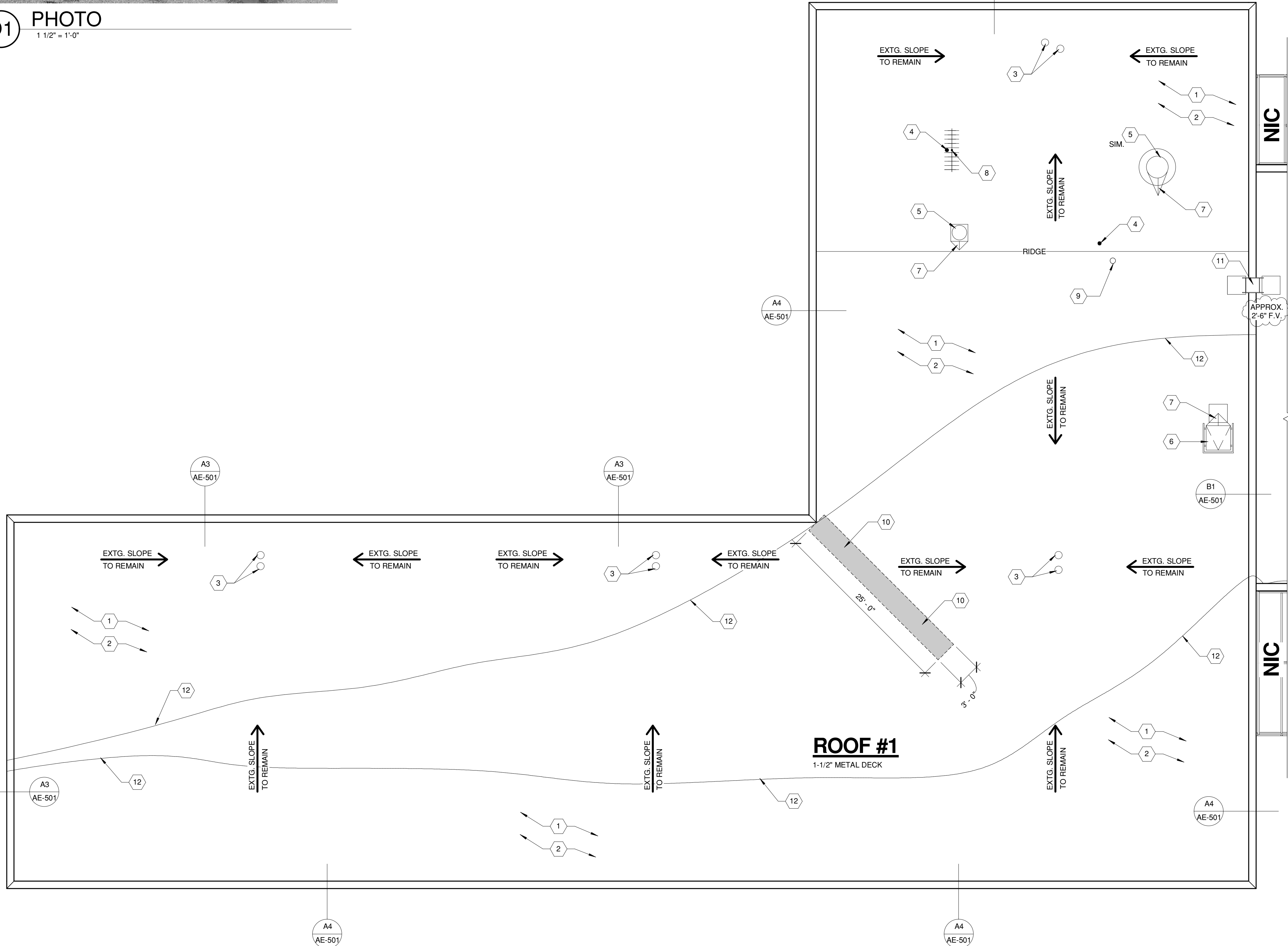
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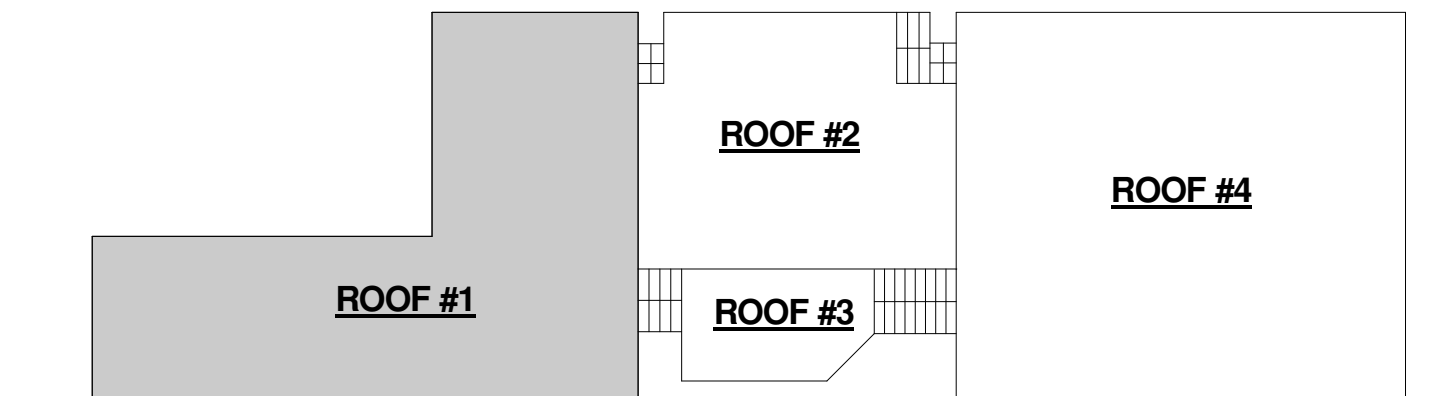


REMOVE ANY WET DAMAGED INSULATION - WHEN OPEN INSPECT THE METAL DECK FOR STRUCTURAL DAMAGE @ A TIME WHEN THE ARCHITECT & OWNER ARE @ A JOB MEETING - SEE AE-101

D1 PHOTO  
1 1/2" = 1'-0"



A1 ROOF PLAN  
1/8" = 1'-0"



A4 KEYPLAN  
1" = 60'-0"

## KEYED NOTES

- EXTG. BUR WITH GRAVEL TO BE REMOVED & ALL EXTG. INSULATION TO REMAIN & ALL EXTG. WALL/CURB CANTS TO BE REMOVED - REFER TO NEW VS EXTG. DETAIL A1/AE-501.
- NEW MECHANICALLY FASTENED SINGLE PLY MEMBRANE SYSTEM - REFER TO NEW VS EXTG. DETAIL A1/AE-501.
- EXTG. PRIMARY & SECONDARY ROOF DRAIN SYSTEMS TO REMAIN - REFER TO DETAIL A2/AE-502.
- EXTG. PLUMBING VENT PIPE (SHOWN AS SOLID CIRCLE TYP) TO REMAIN - PROVIDE EXTENSIONS FOR PIPE AS REQUIRED TO GIVE A MIN. OF 12" FROM TOP OF PIPE TO NEW ROOFING SURFACE - REFER TO DETAIL C1/AE-501.
- EXTG. MECHANICAL FAN/EXHAUSTER RELIEF AIR VENT TO REMAIN - TEMPORARILY REMOVE UNIT & SET ASIDE FOR REINSTALLATION - RAISE CURB AS REQUIRED TO ACHIEVE 8" MIN. DIM. FROM TOP OF CURB TO SURFACE OF NEW ROOFING - REINSTALL UNIT - REMOVAL & REINSTALLATION OF POWERED UNITS SHALL BE DONE BY QUALIFIED LICENSED MECHANICS ONLY - REFER TO DETAIL B2/AE-501 SIM.
- PROVIDE NEW ROOF HATCH/SCUTTLE ON EXTG. CURB - PROVIDE NEW "ROOF ACCESS GUARD" REFER TO DETAIL C4/AE-504 - PROVIDE NEW 30"x30" WALK PAD AS SHOWN.
- EXTG. CRICKETS TO REMAIN - REPAIR TO ORIGINAL STATE IF DAMAGE DURING REMOVAL OF THE BUR.
- EXTG. ANTENNA TO REMAIN FLASH PER DETAIL C1/AE-501.
- EXTG. FLUE TO REMAIN FLASH PER DETAIL C1/AE-501.
- REMOVE ANY WET DAMAGED INSULATION - WHEN OPEN INSPECT THE METAL DECK FOR STRUCTURAL DAMAGE @ A TIME WHEN THE ARCHITECT & OWNER ARE @ A JOB MEETING - SEE PHOTO ON D1/AE-101.
- PROVIDE NEW ROOF-TO-ROOF LADDER - PER DETAIL B3/AE-502 - PROVIDE NEW 30"x30" FLEXIBLE WALK WAY - SEE SPEC. @ TOP & BOTTOM OF ALL NEW LADDERS - APPROXIMATE ROOF-TO-ROOF HEIGHT IS LISTED NEAR LADDER ON PLAN - F.V. ACTUAL ROOF-TO-ROOF HEIGHT.
- ANY LOOSE WIRES ON ROOF NEED TO BE TAKEN TO THE NEAREST PARAPET WALL SIMILAR TO THE WIRES THAT ARE EXTG. ALONG THE TOP PARAPET CAP - MAKE THE NECESSARY SPLICES IN THE COAX CABLES TO GET TO THEM TO THE WALL - CONTRACTOR IS VERIFY WITH THE ARCHITECT & OWNER THAT THE SYSTEM IS FUNCTIONING FULLY AFTER WIRE HAVE BEEN RELOCATED - CONTRACTOR IS TO EMPLOY A LICENSED COMMUNICATION SPECIALIST TO VERIFY THAT THE SYSTEM IS WORKING PROPERLY.

## GENERAL NOTES

- EXTG. SLOPE IS IN THE STRUCTURAL & WOOD CRICKETS TYPICAL.
- ALL NEW WOOD THAT COMES IN CONTACT WITH CONCRETE OF MASONRY SHALL BE PRESERVATIVE TREATED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO MEET ALL OF THE REQUIREMENTS OF THE ROOFING SYSTEM MANUFACTURER FOR THE 20 YEAR WARRANTY.
- THE CONTRACTOR IS TO PROVIDE A PROPOSAL FOR THE LOCATION OF THE STAGING AREAS WHICH IS TO BE APPROVED BY THE OWNER AND ARCHITECT - CONTRACTOR'S STAGING AREA IS TO BE PROVIDED WITH A SECURE, LOCKED, 6'-0" TALL TEMPORARY CHAIN LINK FENCE. STAGING AREA SHALL NOT BLOCK DOORS, DOCKS, SIDEWALKS ETC. ALL GAPS IN FENCE TO BE MAINTAINED LESS THAN 4". REMOVE AND SECURE ALL LADDERS AT THE END OF EACH DAY. DUMPSTER MUST BE KEPT IN LOCKED FENCED AREA.
- PROTECT ALL EXISTING IMPROVEMENTS INCLUDING LANDSCAPING, SPRINKLING SYSTEMS, SIDEWALKS, PARKING AREAS, SURROUNDING ROOFS ETC. - ANY DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED TO ORIGINAL OR BETTER THAN ORIGINAL CONDITION (TO THE SATISFACTION OF THE OWNER AND ARCHITECT).



SCOTT P. EVANS  
ARCHITECT &  
ASSOCIATES P.C.

108 West Center Street  
Bountiful, Utah 84010  
Telephone - 801.298.1368  
Telefax - 801.298.2192  
info@spe-architect.com  
www.spe-architect.com

PROFESSIONAL STAMP:

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BUNNEL-DMITRICH  
ATHLETIC CENTER REROOF

451 EAST 400 NORTH  
PRICE, UTAH 84501

REVISIONS: A

NO.	DATE	DESCRIPTION
1		

ISSUED:

NO.	DATE	DESCRIPTION
01	7/12/06	CONSTRUCTION DOCUMENTS

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SPE PROJECT #: 06-12  
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DESIGNED BY: RPL

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SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

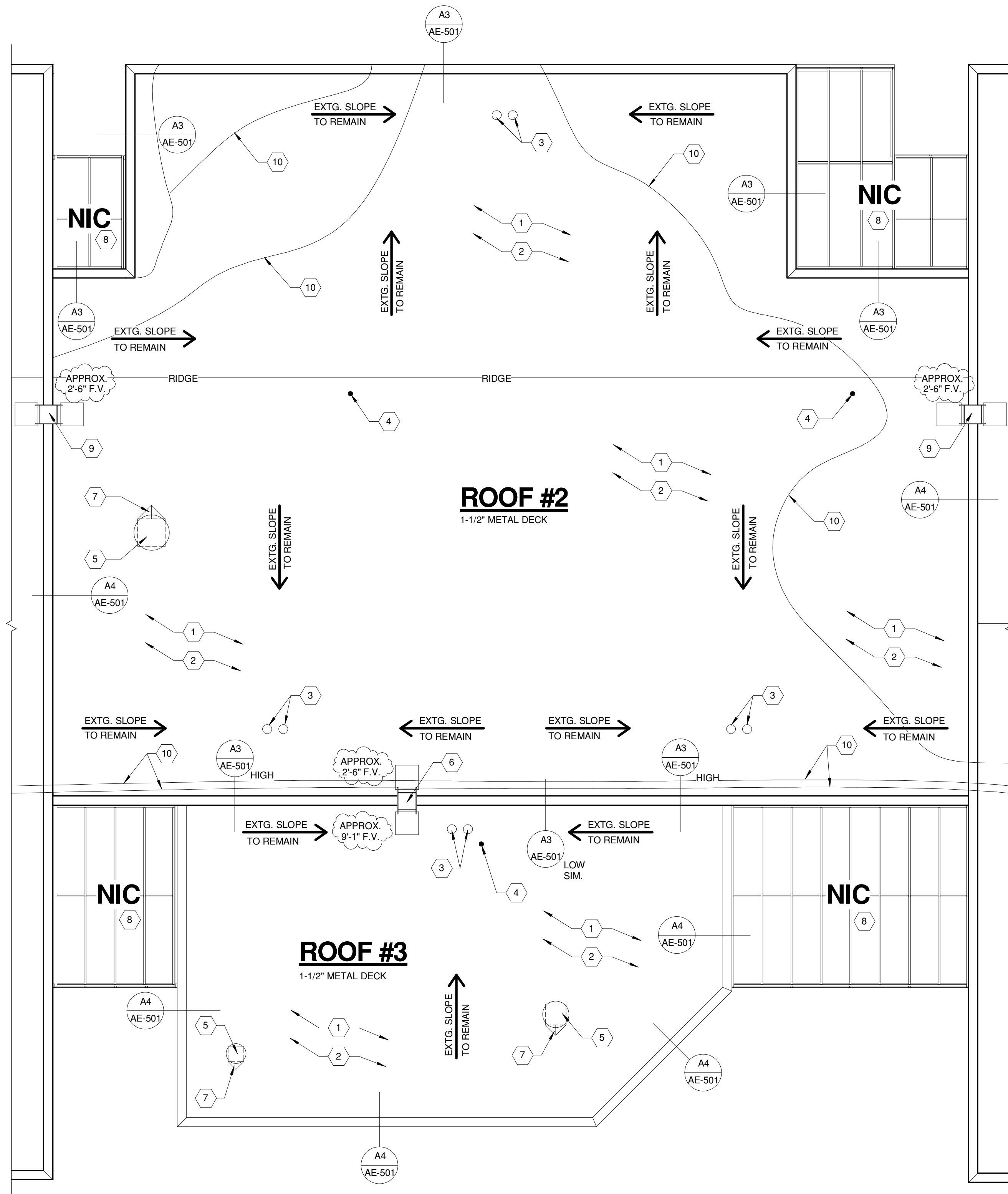
AE-101

3 OF 7

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# A1 ROOF PLAN

1/8" = 1'-0"

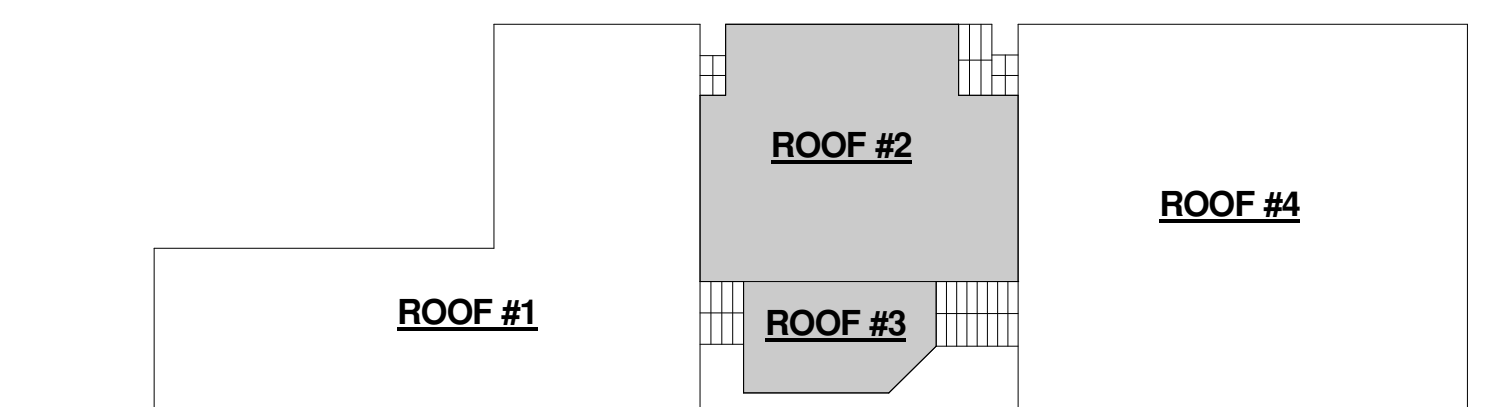


## KEYED NOTES

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- NEW MECHANICALLY FASTENED SINGLE PLY MEMBRANE SYSTEM - REFER TO NEW VS EXTG. DETAIL A1/AE-501.
- EXTG. PRIMARY & SECONDARY ROOF DRAIN SYSTEMS TO REMAIN - REFER TO DETAIL A2/AE-502.
- EXTG. PLUMBING VENT PIPE (SHOWN AS SOLID CIRCLE TYP) TO REMAIN - PROVIDE EXTENSIONS FOR PIPE AS REQUIRED TO GIVE A MIN. OF 12" FROM TOP OF PIPE TO NEW ROOFING SURFACE - REFER TO DETAIL C1/AE-501.
- EXTG. MECHANICAL FAN/EXHAUSTER RELIEF AIR VENT TO REMAIN - TEMPORARILY REMOVE UNIT & SET ASIDE FOR REINSTALLATION - RAISE CURB AS REQUIRED TO ACHIEVE 8" MIN. DIM. FROM TOP OF CURB TO SURFACE OF NEW ROOFING - REINSTALL UNIT - REMOVAL & REINSTALLATION OF POWERED UNITS SHALL BE DONE BY QUALIFIED LICENSED MECHANICS ONLY - REFER TO DETAIL B2/AE-501 SIM.
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- EXTG. CRICKETS TO REMAIN - REPAIR TO ORIGINAL STATE IF DAMAGE DURING REMOVAL OF THE BUR.
- EXTG. SLOPED GLASS ROOF (NIC) PROTECT FROM DAMAGE DURING CONSTRUCTION.
- PROVIDE NEW ROOF-TO-ROOF LADDER - PER DETAIL B3/AE-502 - PROVIDE NEW 30"x30" FLEXIBLE WALK WAY - SEE SPEC. @ TOP & BOTTOM OF ALL NEW LADDERS - APPROXIMATE ROOF-TO-ROOF HEIGHT IS LISTED NEAR LADDER ON PLAN - F.V. ACTUAL ROOF-TO-ROOF HEIGHT.
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# A4 KEYPLAN

1" = 60'-0"



SCOTT P. EVANS  
ARCHITECT &  
ASSOCIATES P.C.

108 West Center Street  
Bountiful, Utah 84010  
Telephone - 801.298.1368  
Telefax - 801.298.2192  
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REVISIONS: 2

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1		
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ISSUED:

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DFCM PROJECT #: 06016610  
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DRAWN BY: JBE  
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DESIGNED BY: RPL

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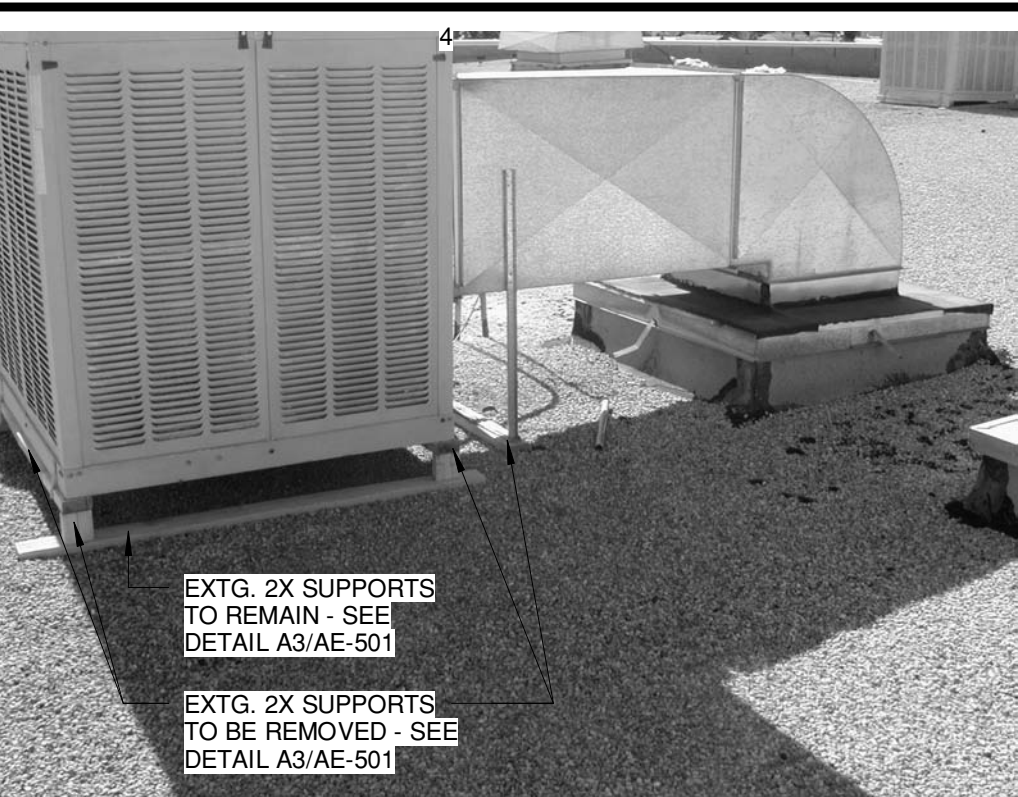
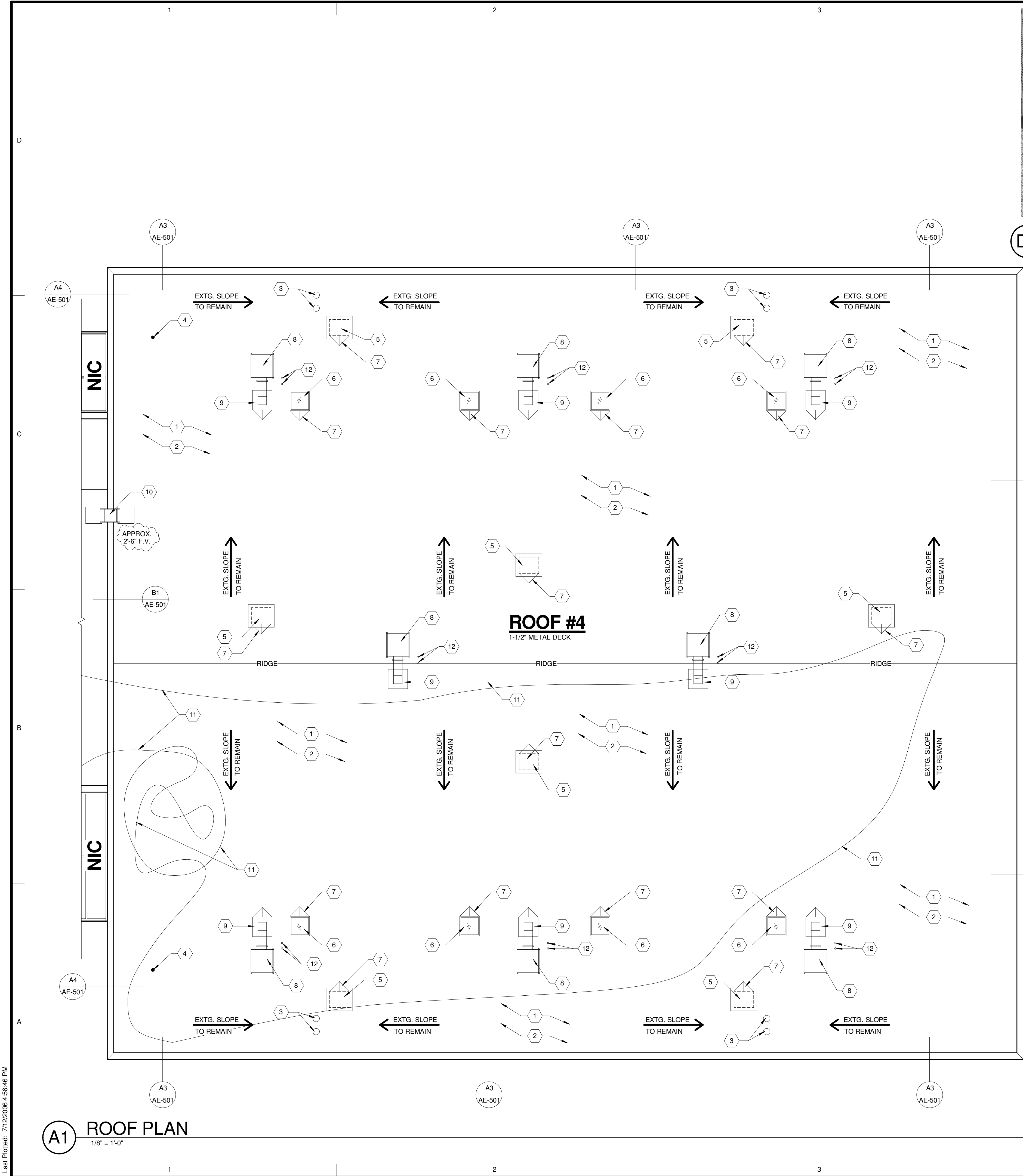
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ROOF PLAN

SHEET NUMBER:

AE-102

4 OF 7



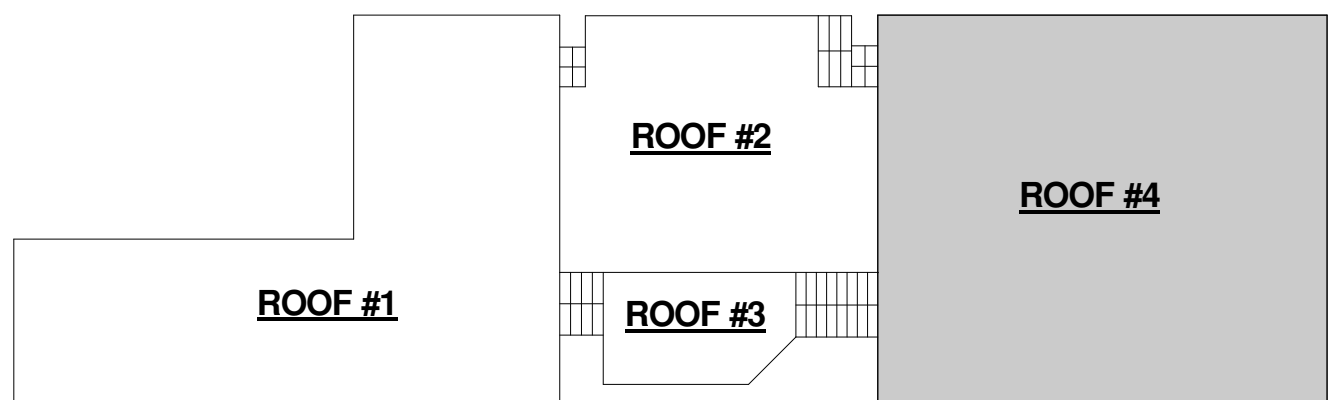
**D4 PHOTO**  
1 1/2" = 1'-0"

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- EXTG. PRIMARY & SECONDARY ROOF DRAIN SYSTEMS TO REMAIN - REFER TO DETAIL A2/AE-502.
- EXTG. PLUMBING VENT PIPE (SHOWN AS SOLID CIRCLE TYP) TO REMAIN - PROVIDE EXTENSIONS FOR PIPE AS REQUIRED TO GIVE A MIN. OF 12" FROM TOP OF PIPE TO NEW ROOFING SURFACE - REFER TO DETAIL C1/AE-501.
- EXTG. MECHANICAL FAN/EXHAUSTER RELIEF AIR VENT TO REMAIN - TEMPORARILY REMOVE UNIT & SET ASIDE FOR REINSTALLATION - RAISE CURB AS REQUIRED TO ACHIEVE 8" MIN. DIM. FROM TOP OF CURB TO SURFACE OF NEW ROOFING - REINSTALL UNIT - REMOVAL & REINSTALLATION OF POWERED UNITS SHALL BE DONE BY QUALIFIED LICENSED MECHANICS ONLY - REFER TO DETAIL B2/AE-501 SIM.
- EXTG. SKYLIGHT TO BE REMOVED - PROVIDE NEW SKYLIGHT ON EXTG. CURB - REFER TO DETAIL C4/AE-501 - SEE SPEC.
- EXTG. CRICKETS TO REMAIN - REPAIR TO ORIGINAL STATE IF DAMAGE DURING REMOVAL OF THE BUR.
- EXTG. MECHANICAL UNIT TO REMAIN - REMOVE EXTG. WOODS SKIDS - TEMPORARILY REMOVE UNIT & SET ASIDE FOR NEW ROOFING TO TAKE PLACE - REMOVAL & REINSTALLATION OF POWERED UNITS SHALL BE DONE BY QUALIFIED LICENSED MECHANICS ONLY - REINSTALL UNIT PER DETAIL A3/AE-502 & PHOTO D4/AE-103.
- EXTG. MECHANICAL UNIT TO REMAIN - TEMPORARILY REMOVE UNIT & SET ASIDE FOR REINSTALLATION - RAISE CURB AS REQUIRED TO ACHIEVE 8" MIN. DIM. FROM TOP OF CURB TO SURFACE OF NEW ROOFING - REINSTALL UNIT - REMOVAL & REINSTALLATION OF POWERED UNITS SHALL BE DONE BY QUALIFIED LICENSED MECHANICS ONLY - REFER TO DETAIL A3/AE-502 & PHOTO D4/AE-103.
- PROVIDE NEW ROOF-TO-ROOF LADDER - PER DETAIL B3/AE-502 - PROVIDE NEW 30"x30" FLEXIBLE WALKWAY - SEE SPEC. TOP & BOTTOM OF ALL NEW LADDERS - APPROXIMATE ROOF-TO-ROOF HEIGHT IS LISTED NEAR LADDER ON PLAN - F.V. ACTUAL ROOF-TO-ROOF HEIGHT.
- ANY LOOSE WIRES ON ROOF NEED TO BE TAKEN TO THE NEAREST PARAPET WALL SIMILAR TO THE WIRES THAT ARE EXTG. ALONG THE TOP PARAPET CAP - MAKE THE NECESSARY SPLICES IN THE COAX CABLES TO GET TO THEM TO THE WALL - CONTRACTOR IS VERIFY WITH THE ARCHITECT & OWNER THAT THE SYSTEM IS FUNCTIONING FULLY AFTER WIRE HAVE BEEN RELOCATED - CONTRACTOR IS TO EMPLOY A LICENSED COMMUTATION SPECIALIST TO VERIFY THAT THE SYSTEM IS WORKING PROPERLY.
- FLASHING EXTG. WATER & GAS LINES PER DETAIL C1/AE-501.

## GENERAL NOTES

- EXTG. SLOPE IS IN THE STRUCTURAL & WOOD CRICKETS TYPICAL.
- ALL NEW WOOD THAT COMES IN CONTACT WITH CONCRETE OF MASONRY SHALL BE PRESERVATIVE TREATED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO MEET ALL OF THE REQUIREMENTS OF THE ROOFING SYSTEM MANUFACTURER FOR THE 20 YEAR WARRANTY.
- THE CONTRACTOR IS TO PROVIDE A PROPOSAL FOR THE LOCATION OF THE STAGING AREAS WHICH IS TO BE APPROVED BY THE OWNER AND ARCHITECT - CONTRACTOR'S STAGING AREA IS TO BE PROVIDED WITH A SECURE, LOCKED, 6'-0" TALL TEMPORARY CHAIN LINK FENCE. STAGING AREA SHALL NOT BLOCK DOORS, DOCKS, SIDEWALKS ETC. ALL GAPS IN FENCE TO BE MAINTAINED LESS THAN 4". REMOVE AND SECURE ALL LADDERS AT THE END OF EACH DAY. DUMPSTER MUST BE KEPT IN LOCKED FENCED AREA.
- PROTECT ALL EXISTING IMPROVEMENTS INCLUDING LANDSCAPING, SPRINKLING SYSTEMS, SIDEWALKS, PARKING AREAS, SURROUNDING ROOFS ETC. - ANY DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED TO ORIGINAL OR BETTER THAN ORIGINAL CONDITION (TO THE SATISFACTION OF THE OWNER AND ARCHITECT)



**A4 KEYPLAN**  
1" = 60'-0"



**SCOTT P. EVANS  
ARCHITECT &  
ASSOCIATES P.C.**

108 West Center Street  
Bountiful, Utah 84010  
Telephone - 801.298.1368  
Telefax - 801.298.2192  
info@spe-architect.com  
www.spe-architect.com

PROFESSIONAL STAMP:

CONSULTANTS:

PROJECT NAME:

**COLLEGE OF EASTERN UTAH  
BUNNEL-DMITRICH  
ATHLETIC CENTER REROOF**

451 EAST 400 NORTH  
PRICE, UTAH 84501

REVISIONS:

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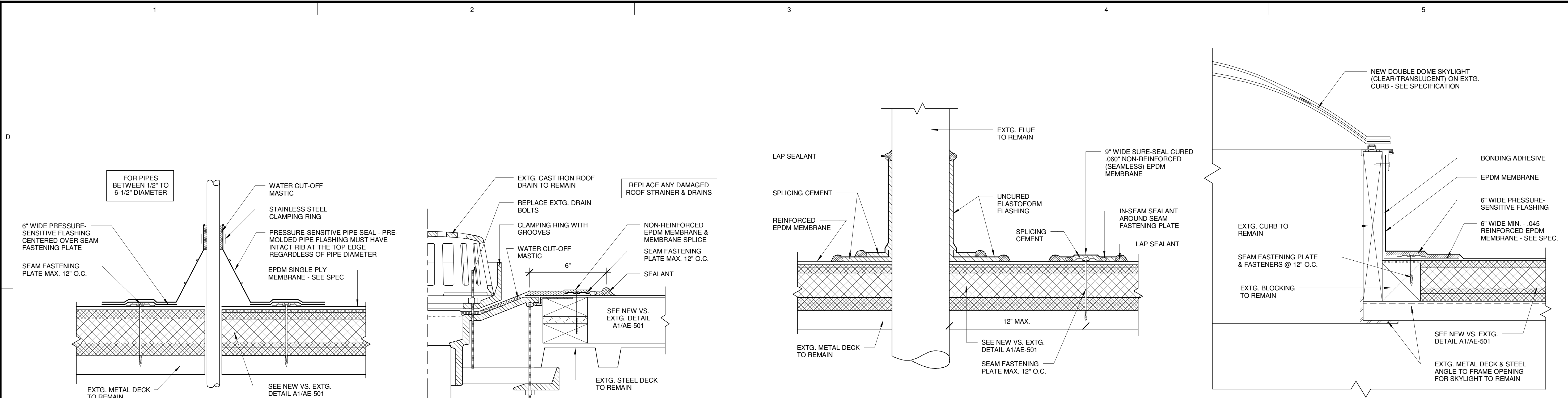
**ROOF PLAN**

SHEET NUMBER:

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5 OF 7



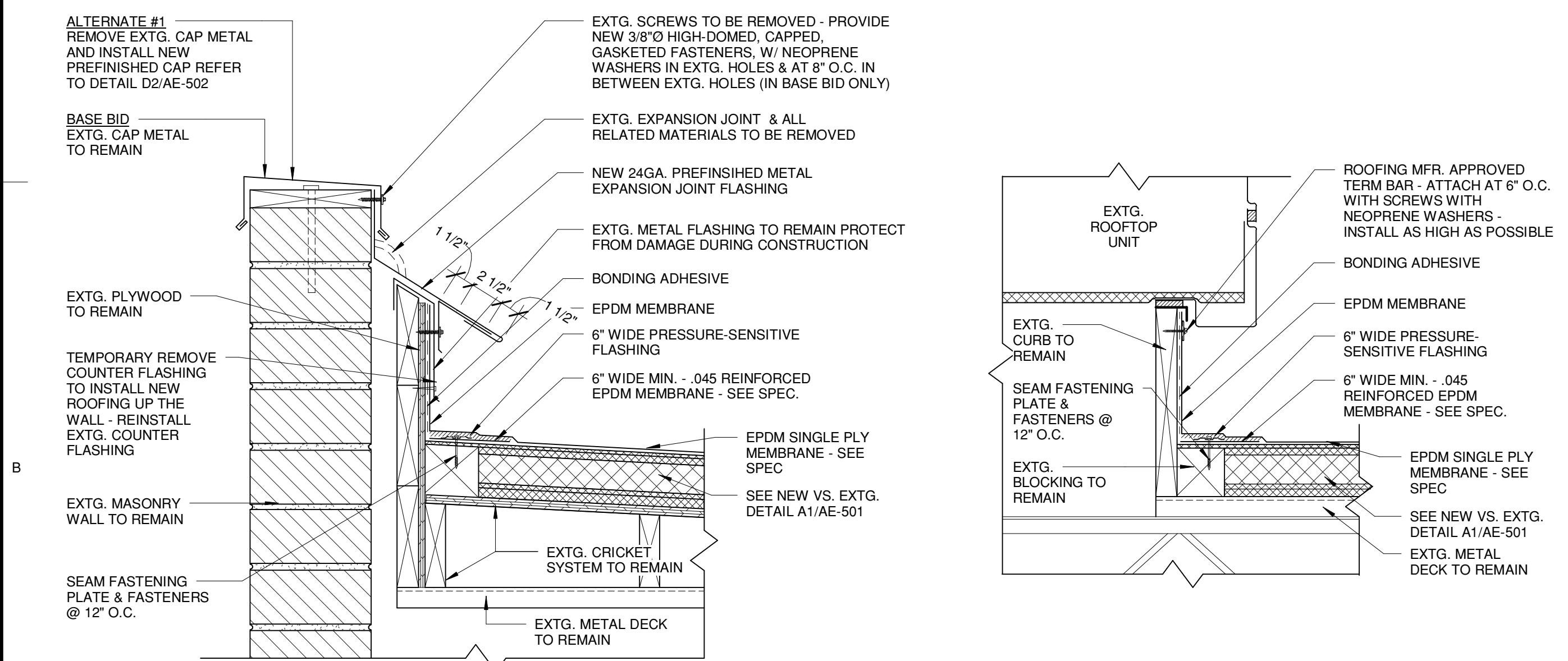


**C1 TYP. VENT PIPE/CONDUIT DETAIL** 3" = 1'-0"

**C2 ROOF DRAIN DETAIL** 3" = 1'-0"

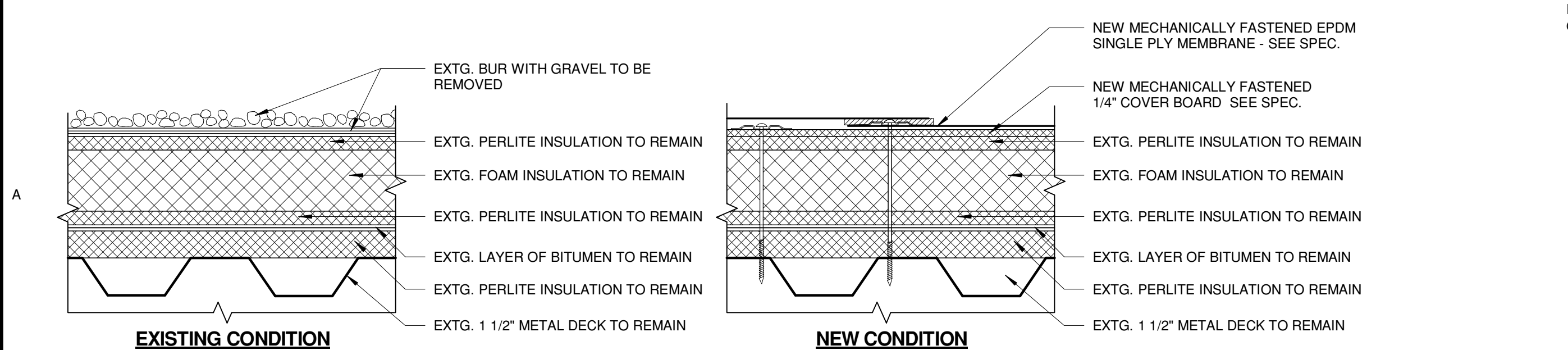
**C3 TYP. FLUE FLASHING DETAIL** 3" = 1'-0"

**C4 SKYLIGHT DETAIL** 3" = 1'-0"



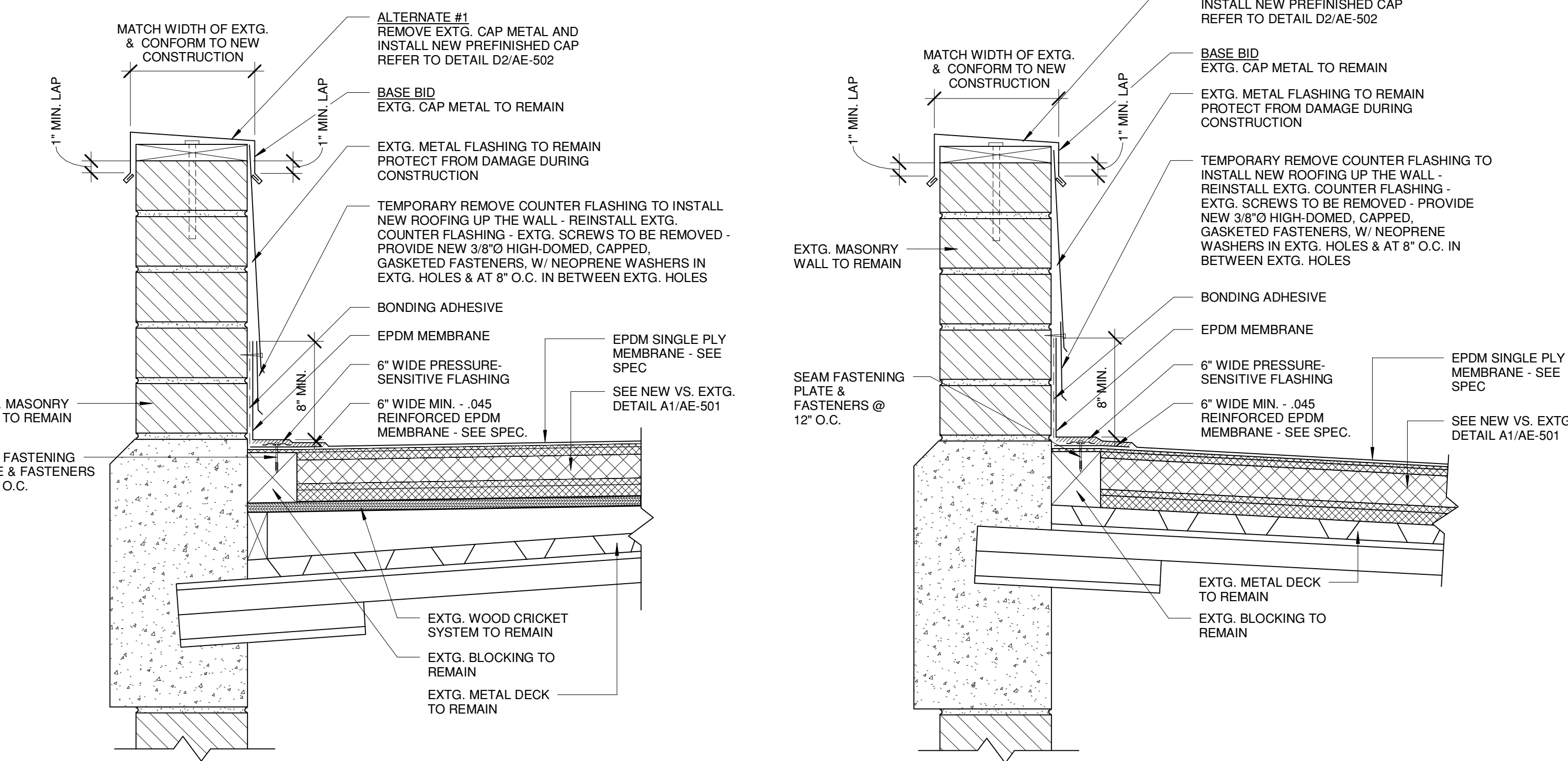
**B1 EXPANSION JOINT DETAIL** 1 1/2" = 1'-0"

**B2 ROOF TOP UNIT DETAIL** 1 1/2" = 1'-0"



**A1 NEW VS. EXTG. DETAIL** 3" = 1'-0"

**A2 ROOF EDGE DETAIL** 1 1/2" = 1'-0"



**A3 ROOF EDGE DETAIL** 1 1/2" = 1'-0"

**A4 ROOF EDGE DETAIL** 1 1/2" = 1'-0"

**SCOTT P. EVANS  
ARCHITECT &  
ASSOCIATES P.C.**

108 West Center Street  
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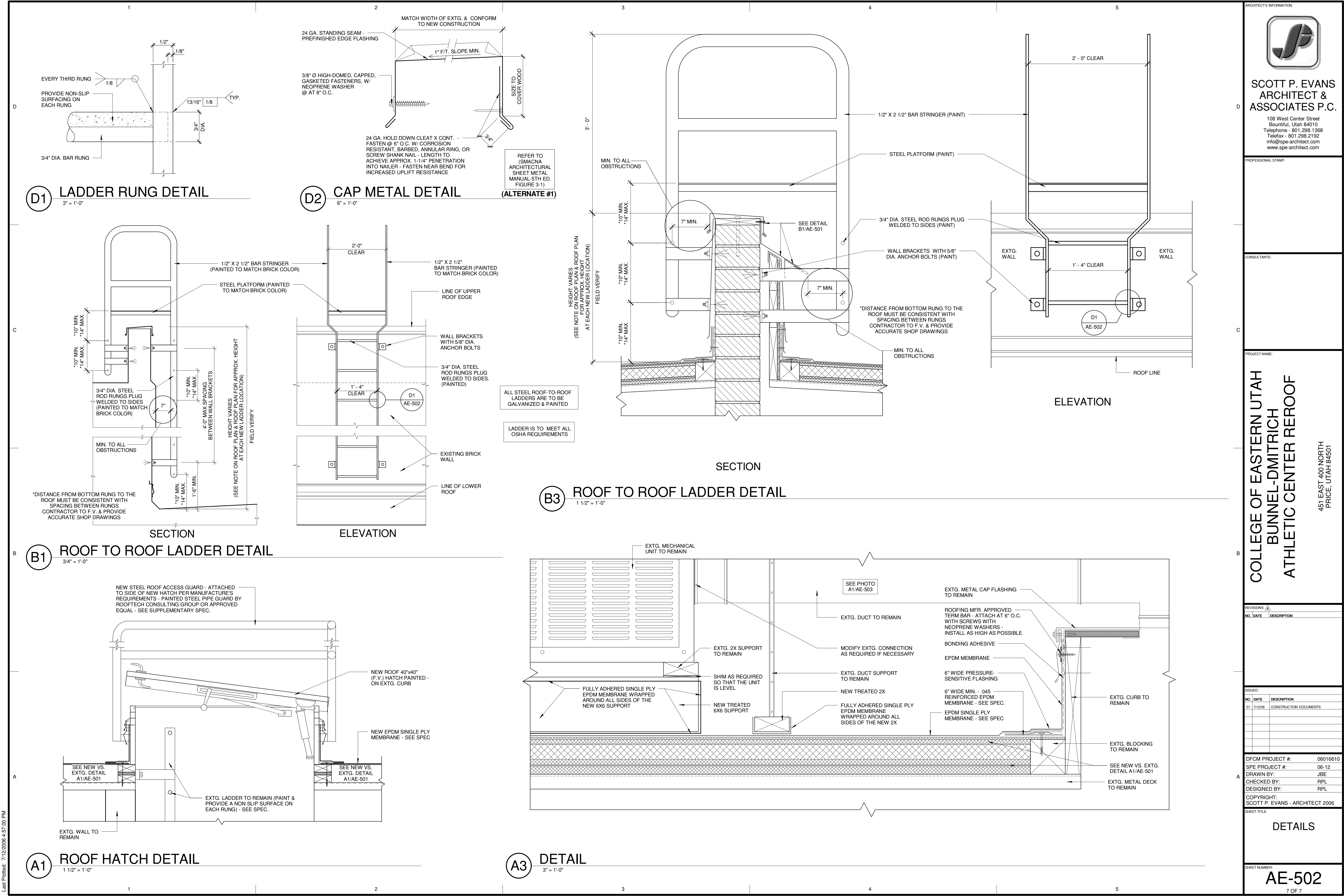
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**SCOTT P. EVANS  
ARCHITECT &  
ASSOCIATES P.C.**

108 West Center Street  
Bountiful, Utah 84010  
Telephone - 801.298.1368  
Telefax - 801.298.2192  
info@spe-architect.com  
www.spe-architect.com

PROFESSIONAL STAMP:

CONSULTANTS:

PROJECT NAME:  
**COLLEGE OF EASTERN UTAH  
BUNNEL-DMITRICH  
ATHLETIC CENTER REROOF**  
  
451 EAST 400 NORTH  
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